



WHERE THE FOREST MEETS THE PRAIRIE

Todd County

● MINNESOTA ● EST. 1855 ●

BOARD OF COMMISSIONERS
Work Session Agenda

Tuesday, March 18, 2025

10:00 AM

or immediately following the regular board meeting

*Meeting to be held in the County Board Room
at the Historic Courthouse, 215 1st Ave S, Long Prairie, MN.*

MEETING WILL BE LIVE-STREAMED AT: [HTTPS://WWW.CO.TODD.MN.US](https://www.co.todd.mn.us)

Agenda Item #

Agenda Time:

- | | | |
|----------|--|--------------|
| 1 | Transfer Station Update: Change Orders & Contingency Fund
<i>Chris McConn & Mike Eberle, Solid Waste</i> | 10:00 |
| 2 | Paycom Onboarding & Payroll Software Presentation
<i>Jackie Bauer, County Coordinator</i>
<i>Elliot Kane & Jack Darnell, Paycom</i> | 10:15 |
| 3 | Historic Courthouse Trim
<i>Mitch Johnson, Facilities Manager</i> | 10:30 |



MEMORANDUM

DATE: March 12, 2025

TO: Todd County Board of Commissioners

FROM: Chris McConn, Solid Waste Director

CC: Mike Eberle, Landfill and Transfer Station Supervisor

Bruce Paulson, Stantec

RE: CAP GRANT PROJECT PROPOSED CHANGE ORDER AND CONTINGENCY FUNDS

BACKGROUND

There are five separate events that resulted in changes to the project. The following is a summary of information for each one. Pending response by the County Commissioners, the Solid Waste Department will proceed with a change order(s). There is also a Bobcat L95 compact Wheel Loader.

Table 1: Proposed Hy-Tec Change Orders

Description	Cost
Minnesota Power relocation of electrical power	\$34,491.14
Plumbing Plan Review	\$48,575.69
Pre-Engineered Building & Foundation	\$37,115.91
Finished Floor Elevation Change	\$0.00
Interior Liner Panels	\$66,745.64
Total	\$186,928.38

1. Minnesota Power Relocation of Electrical Power

The existing overhead power ran through the project area. Minnesota Power provided a cost estimate of \$60,600 to relocate the power. Hy-Tec worked with Minnesota Power to complete the work and reduce the cost. Hy-Tec paid for the utility relocation. County staff consulted with Stantec who recommended that Hy-Tec be reimbursed for this expense. The Bidding Documents do not include utility relocation as a cost to be paid for by the Contractor.

2. Plumbing Plan Review

The timing of the plan review process is important for this item. Below are some key milestones as they relate:

- Stantec submitted an application and drawings to the Department of Labor and Industry (DLI) for a permit for the plumbing portion of the project on February 8, 2024.
- Hy-Tec was awarded the project on March 19, 2024.



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● MINNESOTA ● EST. 1855 ●

TODD COUNTY SOLID WASTE

30433 US 71

Browerville, MN 56438

Phone: 320-594-2210

Fax: 320-594-3022

- Construction commenced on April 17, 2024
- DLI issued a permit on June 20, 2024

So as not to delay the schedule, Hy-Tec proceeded with fabrication and installation. There were some corrections to structures; pipe alignment and additional oil/water separators required based on the plumbing plan review; and not included in the original cost bid for the work. This work has been completed.

3. Pre-Engineered Metal Building & Foundation

The project was designed for construction of a pre-engineered metal building. Stantec used conservative concrete foundation designs that would reasonably work for any pre-engineered metal building manufacturer. The specific company retained by the Contractor needs to perform building reaction calculations. During this process, some changes to the building foundation design were required. The foundations have been constructed. The requested change order is to pay for these changes to the foundation design. County staff discussed this with Stantec. Stantec explained this is a common change order for this type of work.

4. Finished Floor Elevation Change

The architectural design drawings inadvertently used the wrong elevation for the administration building. This 1.5 foot error requires some redesign to the site grading. It also included an additional sidewalk and railing. Hy-Tec has indicated it will make the changes at no cost to the County. This work has not yet been completed.

5. Interior Liner Panel

County staff have toured several different transfer stations and discussed post-construction feedback from their respective operators. One observation has been that the interior of the buildings is typically finished with an insulation and/or vapor barrier that has a fragile film plastic encapsulation. At the loadout, waste that spills out on the wall quickly damages the film, creating a dirty mix of garbage and insulation. On other walls, birds and other creatures often nest in it. To avoid this, County staff asked for a cost estimate to install a liner panel inside the building.

6. Bobcat L95 Compact Wheel Loader

This equipment has been quoted at \$74,217. It would replace a skidsteer and forklift. This has not been ordered yet. It is faster and safer than the forklift and skidsteer for the intended use. The speed will be beneficial for traveling between the buildings.

SUPPORTING INFORMATION

County staff have reviewed meeting minutes, correspondence with DLI, Hy-Tec Cost estimates, bidding documents and Stantec correspondence to review each cost. Attached are some of the supporting documents.



CONTINGENCY FUNDS

The project was set up with a contingency fund. Below is a summary of uses and remaining balance of the contingency fund:

Table 2 - Contingency Fund Balance and Proposed Expenses

Description	Expense	Balance
Original Fund Amount	--	\$577,197.53
Browerville Water Main Design	\$14,813.50	\$562,384.03
Forklift and Grapple Attachment	\$70,390.13	\$491,993.90
Special Structural Testing	\$72,185.00	\$419,808.90
Browerville CQA (Bolton & Menk)	\$8,172.50	\$411,636.40
Other Equipment Increases (Trailer and Newer Semi)	129,197.57	\$282,438.83
Minnesota Power Relocation (proposed)	\$34,491.00	\$247,947.83
Plumbing Plan Review (proposed)	\$48,575.69	\$199,372.14
Pre-Engineered Building & Foundation (proposed)	\$37,115.91	\$162,256.23
Finished Floor Elevation Changes (proposed)	\$0.00	\$162,256.23
Interior Liner Panels (proposed)	\$66,745.64	\$95,510.59
Bobcat L95 Compact Wheel Loader (proposed)	\$74,217.00	\$21,293.59

If these costs are paid for, approximately 94% of the contingency fund will be used. Currently, Hy-Tec has completed approximately 68% of the work. There are two cost estimates that Stantec has requested from Hy-Tec that are forthcoming. Otherwise, there are not any known additional change orders or additional expenses. The Solid Waste Department does plan on excavating a drainage ditch southeast of the existing transfer station building. We plan to cover that cost through our operating budget.

RECOMMENDATION

The Department respectfully recommends to proceed with the five Hy-Tech change order items. With the Board of Commissioners permission one or more change orders will be prepared to formalize the approval. We would like to discuss purchasing the Bobcat through the Enterprise Fund, and reducing our 2026 capital improvement fund to offset the cost. This would leave \$95,510.59 in contingency.

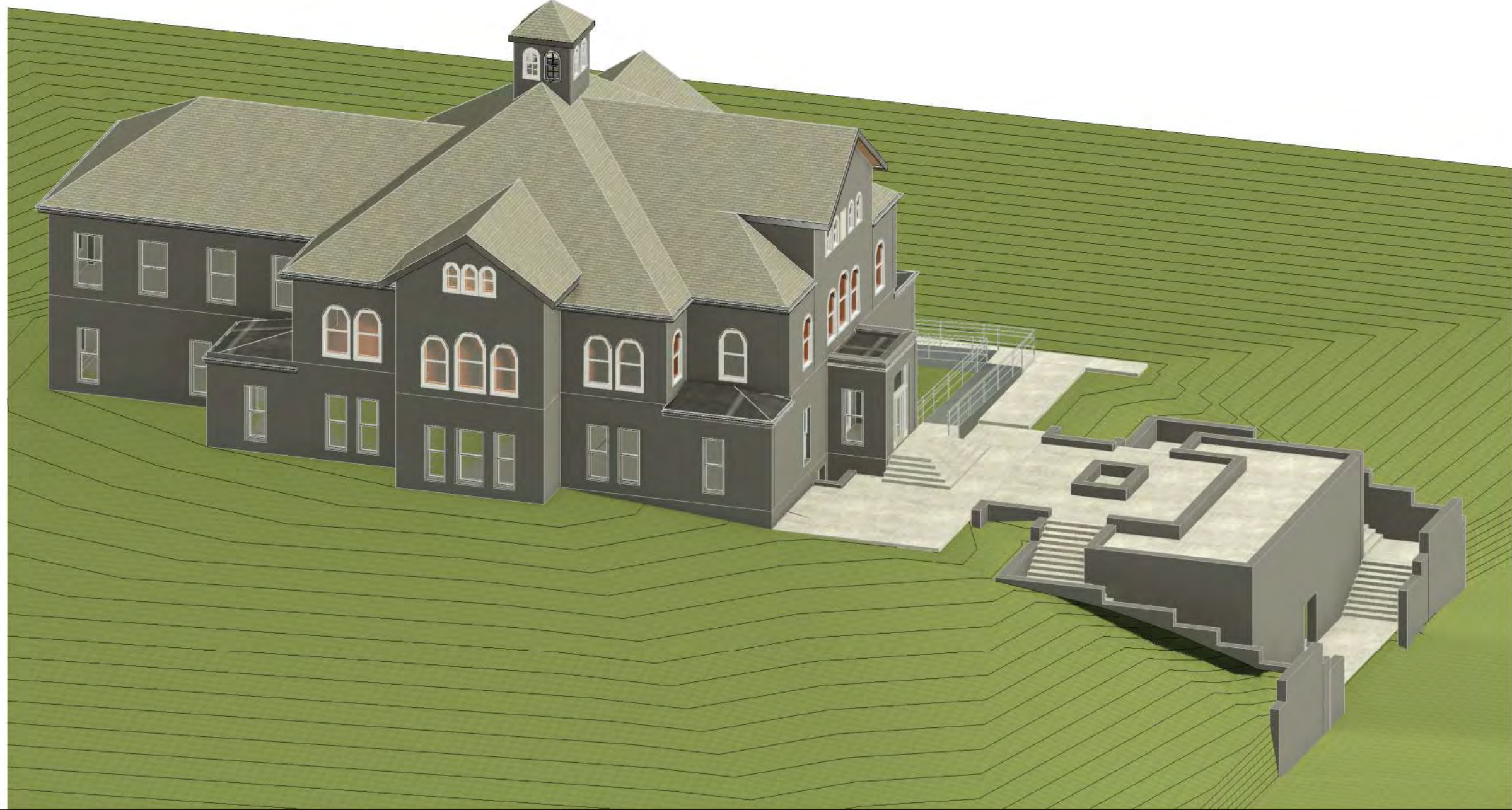
PROJECT EXPENSES

DESCRIPTION	AMOUNT	Funding Source	State Fundable	Allocated Exp 3/2025	Percent of Project
Hy-Tech Construction	\$7,839,767.90	State and Local	\$7,839,767.90	\$5,298,368.61	68%
Stantec (Design, Bid, & CQA	\$625,191.00	State and Local	\$625,191.00	\$525,273.90	84%
Equipment/Supplies			\$0.00		
Equipment	\$1,080,000.00	State and Local	\$525,000.00	\$1,277,538.00	118%
Furniture, IT and Supplies	\$75,000.00	State and Local	\$75,000.00	\$62,050.00	83%
6% Contingency (and Change Orders)	\$577,197.53			\$352,489.37	61%
TOTAL PROJECT COST BUDGET	\$10,197,156.43		\$9,064,958.90	\$7,515,719.88	

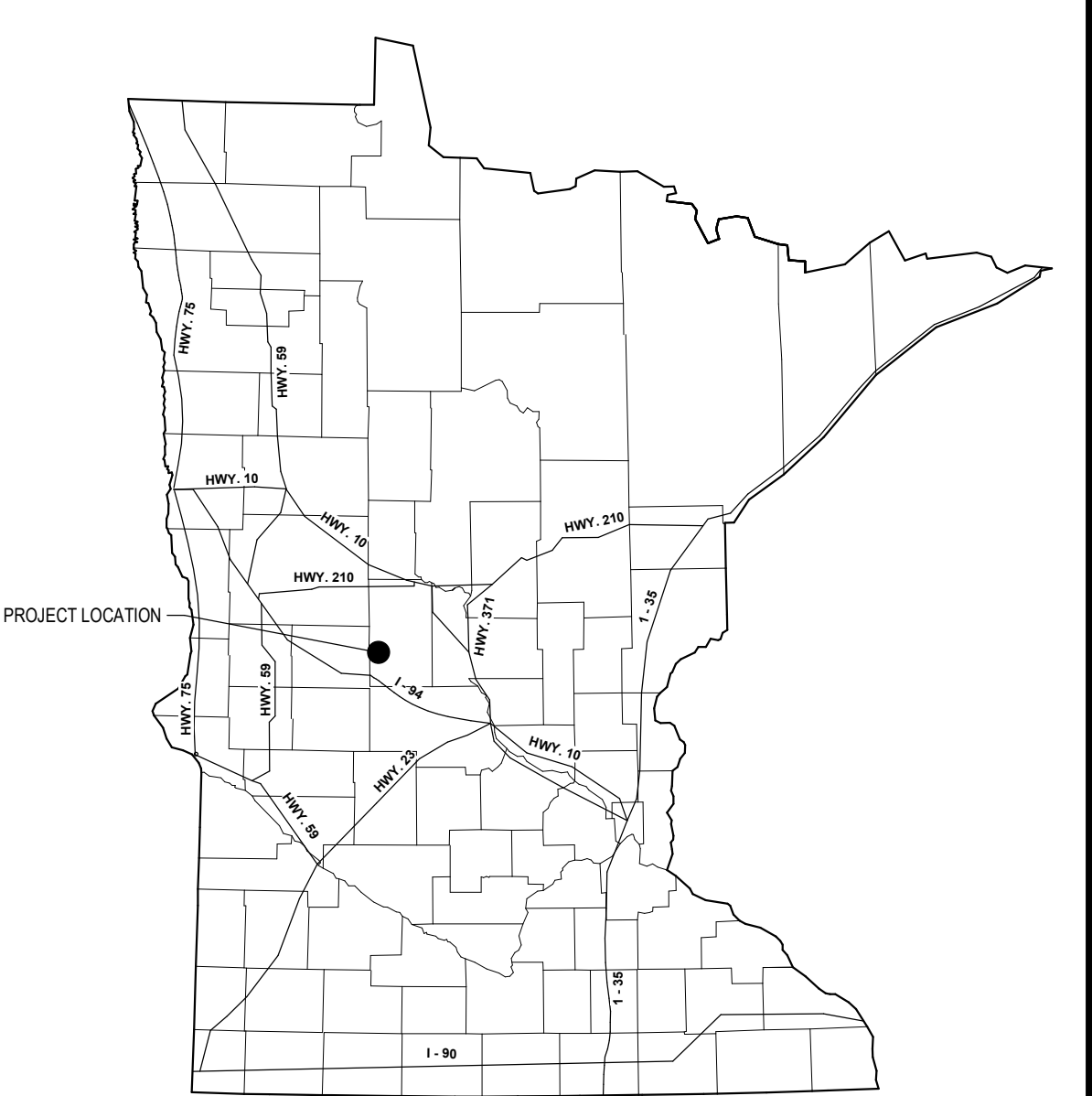
COURTHOUSE EXTERIOR REPAIRS

TODD COUNTY

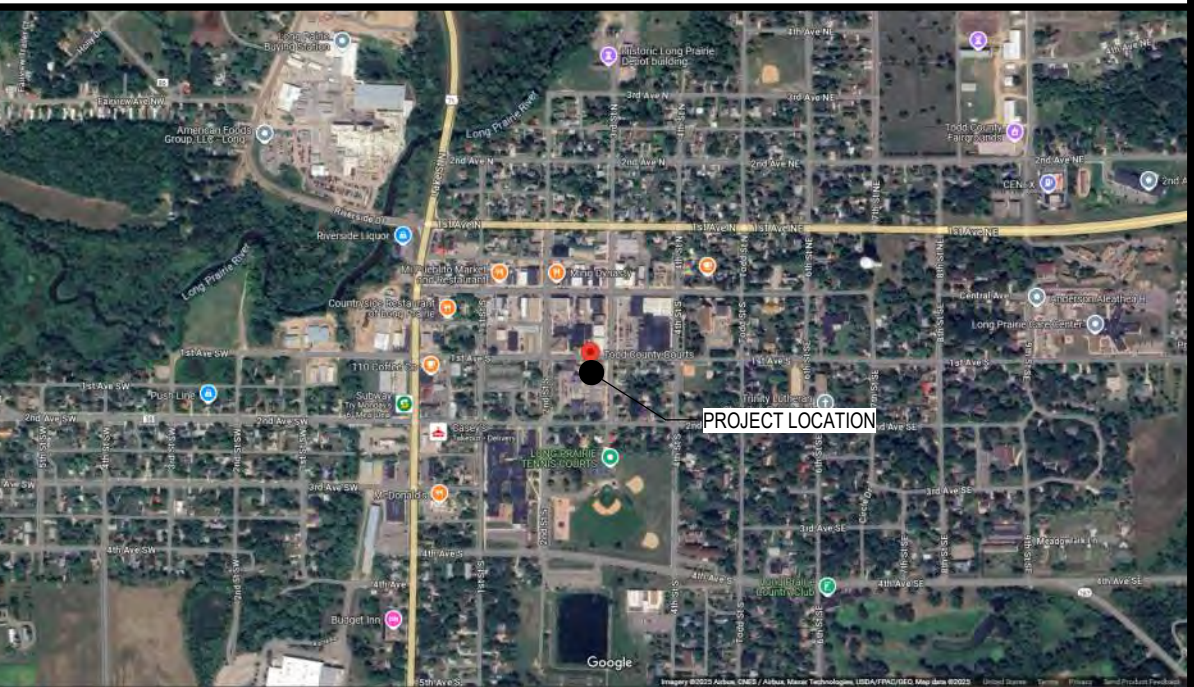
221 1ST AVE S, LONG PRAIRIE, MN 56347



SHEET INDEX	
SHEET #	SHEET NAME
GENERAL	
A1.10	TITLE SHEET
ARCHITECTURAL DEMOLITION	
AD4.10	EXTERIOR DEMOLITION ELEVATIONS
AD4.20	EXTERIOR DEMOLITION ELEVATIONS
ARCHITECTURAL	
A3.10	PROPOSED ROOF PLAN
A4.10	PROPOSED EXTERIOR ELEVATIONS
A4.20	PROPOSED EXTERIOR ELEVATIONS
A6.10	ENLARGED CUPOLA ELEVATION
A6.20	ENLARGED FRIEZE BOARD
A6.30	ENLARGED GABLE ELEVATION
# OF SHEETS: 9	



STATE MAP



VICINITY MAP

DESIGN TEAM:

ARCHITECTURAL: Widseth Smith Nolting & Assoc.
610 Fillmore St.
Alexandria, MN 56308
Office Phone: (202) 762-8149
Contact: Mike Angland
Phone: (218) 316-3608

PROJECT NAME: COURTHOUSE EXTERIOR REPAIRS
PROJECT ADDRESS: 221 1ST AVE S, LONG PRAIRIE, MN 56347
PROJECT #: 2024-11922



REVISIONS		
#	DESCRIPTION	DATE

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

DATE:

MARCH 2025

SHEET NO.

G1.10

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MIKE J. ANGLAND

03-04-2025

LIC#: 45375

ABBREVIATIONS

AB	ABOVE FINISHED FLOOR	EOP	EQUIPMENT	MFR	MANUFACTURER	SND	SANITARY NAPKIN DISPENSER
AP	ACCESS PANEL	EXP	EXPANSION	MAS	MASONRY	SNR	SANITARY NAPKIN RECEPTOR
ACT	ACOUSTIC CEILING TILE	EB	EXPANSION BOLT	MTL	MATERIAL (S)	SEC	SECTION
AC	AIR CONDITIONING	EJ	EXPANSION JOINT	MAX	MAXIMUM	SHT	SHEET
AB	ANCHOR BOLT	EXT	EXTERIOR	MECH	MECHANICAL	SHTH	SHEATHING
ALT	ALTERNATE			MC	MEDICINE CABINET	SM	SIMILAR
AL	ALUMINUM	FB	FACE BRICK	MED	MEDIUM	SC	SOLID CORE
ANGLE	ANGLE	FOC	FACE OF CONCRETE	MBR	MEMBER	SABI	SOUND ATTENUATING BATT INSULATION
APX	APPROXIMATE	FOM	FACE OF MASONRY	MMB	MEMBRANE	SP	SOUNDPROOF
ARCH	ARCHITECT (URAL)	FOS	FACE OF STUDS	MET	METAL	S	SOUTH
		FIN	FINISH			SPK	SPEAKER
BSMT	BASEMENT	FFE	FINISHED FLOOR ELEVATION	M=L	MICROLAM	SPEC	SPECIFICATION (S)
BM	BEAM or BENCHMARK	FRBK	FIRE BRICK	MIN	MINIMUM	SQ	SQUARE
BRG	BEARING	FE	FIRE EXTINGUISHER	MIR	MIRROR	SS	STAINLESS STEEL
BPL	BEARING PLATE	FEC	FIRE EXTINGUISHER CABINET	MISC	MISCELLANEOUS	STD	STANDARD
BIT	BITUMINOUS	FP	FIRE PROOF	MLD	MOLDING	ST	STEEL
BLK	BLOCK	FLG	FLASHING	MRCT	MOISTURE RESISTANT CEILING TILE	SJ	STEEL JOIST
BLKG	BLOCKING	FLR	FLOOR (ING)	MT	MOUNT (ED), (ING)	STO	STORAGE
BRK	BRICK	FLD	FLOOR DRAIN	MULL	MULLION	STR	STRUCTURAL
BLDG	BUILDING	FT	FOOT			SUS	SUSPENDED
		FTG	FOOTING	NOM	NOMINAL	SYM	SYMMETRICAL
CAB	CABINET	FND	FOUNDATION	N	NORTH	SYS	SYSTEM
CPT	CARPET (ED)	FRA	FRESH AIR	NTS	NOT IN CONTRACT	TKBD	TACK BOARD
CSMT	CASEMENT	FBO	FURNISHED BY OTHERS	NO	NOT TO SCALE	TKS	TACK STRIP
CI	CAST IRON	FUR	FURRED(ING)			TEL	TELEPHONE
CB	CATCH BASIN	FUT	FUTURE	OC	ON CENTER	TV	TELEVISION
CLG	CEILING			OPP	OPPOSITE	TZ	TERRAZZO
C	CENTERLINE	GAL	GALVANIZED	OSS	ORIENTED STRAND BOARD	THK	THICK (NESS)
CHBD	CHANNEL	GI	GALVANIZED IRON	OD	OUTSIDE DIAMETER	THR	THRESHOLD
C	CHALKBOARD	GA	GAUGE	OA	OVERALL	TPTN	TOILET PARTITION
CO	CLEANOUT	GL	GLASS	OH	OVERHEAD	TPD	TOILET PAPER DISPENSER
CLR	CLEAR	GB	GRAB BAR	PNT	PAINT	T&G	TONGUE AND GROOVE
CL	CLOSET	GD	GRADE(ING)	PR	PAIR	TGB	TOP OF BLOCK
COL	COLUMN	GYP BD	GYPSPUM BOARD	PRL	PANEL	TOD	TOP OF DECK
CONC	CONCRETE			PB	PANIC BAR	TOS	TOP OF STEEL
CMU	CONCRETE MASONRY UNIT			PTD	PAPER TOWEL DISPENSER	T	TREAD
CONST	CONSTRUCTION	HDW	HARDWARE	PTD	PAPER TOWEL DISPENSER	TYP	TYPICAL
CONT	CONTINUOUS	HDR	HEADER	PTD	PAPER TOWEL DISPENSER		
CONTR	CONTRACTOR	HTG	HEATING	PAR	PAPER TOWEL RECEPTOR	UG	UNDERGROUND
CJT	CONTROL JOINT	HVAC	HEATING/VENTILATION/AIR CONDITIONING	PAR	PAPER TOWEL RECEPTOR	UNF	UNFINISHED
		HT	HEAVY DUTY	PBD	PARTICLE BOARD	UNO	UNLESS NOTED OTHERWISE
DL	DEAD LOAD	HC	HOLLOW CORE	PTN	PARTITION	UR	URINAL
DEPT	DEPARTMENT	HM	HOLLOW METAL	PTN	PAVEMENT		
DTL	DETAIL	HOR	HORIZONTAL	PERF	PERFORATE (ED)	VB	VAPOR BARRIER
DIAM	DIAMETER	HB	HOSE BIBB	PERI	PERIMETER	VNR	VENEER
DM	DIMENSION	HW	HOT WATER HEATER	PLAS	PLASTER	VERT	VERTICAL
DPR	DISPENSER	HR	HOUR	PLAM	PLASTIC LAMINATE	VEST	VESTIBULE
DR	DOOR			PL OR P	PLATE	VIN	VINYL
DH	DOUBLE HUNG	PLBG	PLUMBING			VCT	VINYL COMPOSITE TILE
DN	DOWN	INS	INSIDE DIAMETER	PWID	PLUS OR MINUS		
DN	DOWNSPOUT	INT	INTERIOR	PT	POINT	WH	WALL HUNG
DWG	DRAWING	JT	JOINT	LBS	POUNDS	WC	WATER CLOSET
DF	DRINKING FOUNTAIN	J	JOIST	PSI	POUNDS PER SQUARE INCH	WP	WATERPROOFING
				PC	PREFINISHED	WVF	WELDED WIRE FABRIC
E	EAST			PFN	PREFINISHED	W	WEST OR WIDTH, WIDE
EA	EACH	LB	LAG BOLT	QT	QUARRY TILE	WDW	WINDOW
EF	EACH FACE	LAM	LAMINATE (ED)			WG	WIRE GLASS
EW	EACH WAY	LAV	LAVATORY			WM	WIRE MESH
ELECT	ELECTRICAL (AL)	LH	LEFT HAND	RAD	RADIUS	W/O	WITHOUT
EW	ELECTRIC WATER COOLER	L	LENGTH	REFR	REFRIGERATOR	WD	WOOD
EL	ELEVATION	LT	LIGHT	RE	REINFORCE (D), (ING), (MENT)	WI	WROUGHT IRON
ELEV	ELEVATOR	LL	LIVE LOAD	REQD	REQUIRED		
EQ	EQUAL	LLH	LONG LEG HORIZONTAL	RA	RETURN AIR		
		LLV	LONG LEG VERTICAL	RVS	REVERSE		
				REV	REVISION		
				RH	RIGHT HAND		
				ROW	RIGHT OF WAY		
				R	RISER		
				RD	ROOF DRAIN		
				RM	ROOM		
				RO	ROUGH OPENING		

TYPICAL MATERIAL HATCH PATTERNS

	ACOUSTICAL CEILING TILE		CLAY - CUT		FIRE BRICK - CUT		GYPSUM BOARD		SAND
	ACOUSTICAL WALL PANEL		CMU BLOCK - ELEVATION		GLASS - CUT		INSULATION BOARD - CUT		SIDING - ELEVATION
	ALUMINUM - CUT		CMU/MASONRY - CUT		GLASS - ELEVATION		RIGID INSULATION - CUT		STONE - CUT
	BATT INSULATION		CONCRETE		GLUE-LAMINATE CONSTRUCTION		METAL - CUT		WOOD - CUT
	BRICK - CUT		EARTH		PLASTIC - CUT		WOOD GRAIN		
	BRICK - ELEVATION		EXPANSION JOINT		GRAVEL		PLYWOOD - CUT		

TYPICAL SYMBOLS

KEYED PLAN NOTES	
KEYED PLAN NOTES	
KEYED DEMOLITION NOTES	

TYP. SYMBOLS	
CENTERLINE SYMBOL	
EXIT SYMBOL	
GLASS SYMBOL	
HANDICAPPED SYMBOL	
TEMPERED GLASS	
DRINKING FOUNTAIN	
FIRE EXTINGUISHER CABINET	
FIRE EXTINGUISHER	
TRUE NORTH ARROW	

STANDARD VIEWS	
BUILDING ELEVATION MARK	
CURTAIN WALL ELEVATION MARK	
INTERIOR ELEVATION MARK	
GRAPHIC SCALE	

VIEW REFERENCES	
VIEW REFERENCES	
CALLOUT HEAD	
SECTION HEAD	

STANDARD TAGS	
CASEWORK TAG	
CEILING TAG	
CURTAIN WALL TAGS	
DOOR TAGS	
MATERIAL ID TAG	
PATH OF TRAVEL TAG	
REVISION TAG	
ROOM TAGS EXISTING, NEW	
WALL TAGS	
FIRE RATED WALL TAG AND LINE	
WINDOW TAGS	

FOR REVIEW ONLY



1 NORTH DEMOLITION ELEVATION
1/8" = 1'-0"



2 SOUTH DEMOLITION ELEVATION
1/8" = 1'-0"

GENERAL DEMOLITION PLAN NOTES

- VERIFY EXISTING CONDITIONS AND DIMENSIONS. COORDINATE THE EXTENT OF DEMOLITION WORK AND EXISTING WORK TO REMAIN WITH NEW FLOOR PLAN AND PROJECT SITE PRIOR TO PRICING, FABRICATION, AND INSTALLATION. NOTIFY ARCHITECTS OF ALL CONFLICTS IMMEDIATELY.
- COORDINATE WITH OWNER ALL EQUIPMENT TO BE SALVAGED.
- EXISTING FINISHES TO BE REMOVED SHALL HAVE THE ORIGINAL SUBSTRATE PREPARED TO RECEIVE NEW FINISHES.
- PROVIDE SAFE MEANS OF EGRESS THROUGH AND/OR AROUND THE BUILDING AND/OR SITE AT ALL TIMES.
- AVOID DISRUPTION TO ADJACENT FLOOR/AREAS AS MUCH AS POSSIBLE. KEEP NOISE TO A LEVEL ACCEPTABLE TO THE OWNER BY SCHEDULING EXCESSIVE NOISE TASKS WITH OWNER. ALL SAW CUTTING AND NOISE FABRICATION PRODUCING CONSTRUCTION TO BE SCHEDULED WITH OWNER AS NOT TO INTERFERE WITH DAILY ACTIVITIES. THIS MAY REQUIRE AFTER-HOURS WORK.
- PROVIDE DUST CONTROL BETWEEN CONSTRUCTION AREAS AND OCCUPIED AREAS AT ALL TIMES.
- ALL SHUTDOWNS OF MECHANICAL, SPRINKLER, FIRE ALARM, AND/OR ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH OWNER.
- PROVIDE FIRE EXTINGUISHERS PER CODE AT ALL TIMES THROUGHOUT CONSTRUCTION AREA.

#	BUILDING DEMOLITION NOTES
D#	NOTE
D1	REMOVE WINDOW
D2	REMOVE ALL WOOD TRIM
D3	REMOVE WOOD TRIM. REMOVE, SALVAGE, AND REINSTALL ALL GUTTERS AND DOWNSPOUTS IN AREAS AFFECTED BY TRIM REMOVAL
D4	REMOVE LOUVER

PHASING LEGEND

---	EXISTING
---	DEMOLITION
---	NEW CONSTRUCTION
D#	KEYED DEMOLITION NOTE
1	KEYED NEW CONSTRUCTION NOTE

COURTHOUSE EXTERIOR REPAIRS
TODD COUNTY
221 1ST AVE S, LONG PRAIRIE, MN 55347
EXTERIOR DEMOLITION ELEVATIONS

SHEET NO.

AD4.10

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE	REV	REVISION DESCRIPTION

DATE: MARCH 2025
SCALE: AS NOTED
DRAWN BY: AAE / CJS
CHECKED BY: N/A
JOB NUMBER: 2024-11922

BY: _____
DATE: _____
REV: _____
REVISION DESCRIPTION: _____
DATE: _____
REV: _____
REVISION DESCRIPTION: _____
DATE: _____
REV: _____
REVISION DESCRIPTION: _____
DATE: _____
REV: _____
REVISION DESCRIPTION: _____

WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

LC# 45375
03-04-2025
MIKE J. JACOBSON

FOR REVIEW ONLY



1 EAST DEMOLITION ELEVATION
1/8" = 1'-0"



2 WEST DEMOLITION ELEVATION
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GENERAL DEMOLITION PLAN NOTES

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PHASING LEGEND	
	EXISTING
	DEMOLITION
	NEW CONSTRUCTION
	KEYED DEMOLITION NOTE
	KEYED NEW CONSTRUCTION NOTE

COURTHOUSE EXTERIOR REPAIRS
TODD COUNTY
221 1ST AVE S, LONG PRAIRIE, MN 56347
EXTERIOR DEMOLITION ELEVATIONS

SHEET NO.

AD4.20

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

MKE J. JACOBSON

03-04-2025

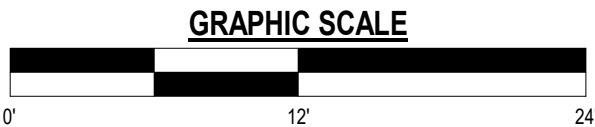
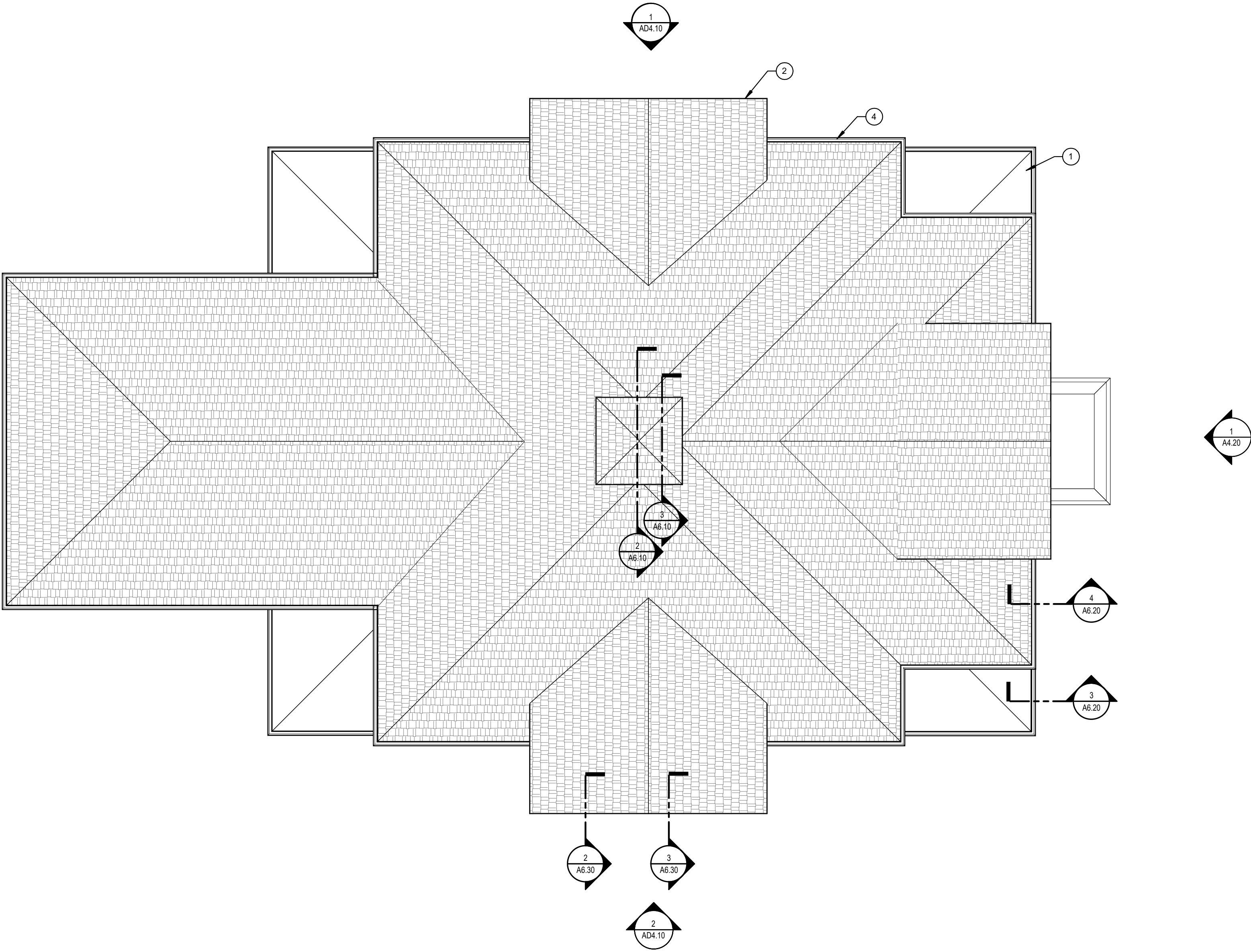
LC# 45375

DATE	REV	REVISION DESCRIPTION	BY

DATE:	MARCH 2025
SCALE:	AS NOTED
DRAWN BY:	AJE / CJS
CHECKED BY:	N/A
JOB NUMBER:	2024-11922

FOR REVIEW ONLY

1 ROOF PLAN
1/8" = 1'-0"



ROOF PLAN LEGEND	
SLOPE 1/8" : FT	TAPERED ROOF INSULATION - INCHES PER FOOT AS INDICATED
↖ 7 3/4"	APPROXIMATE TOTAL ROOF INSULATION THICKNESS - EXCLUDING CRICKETS (MINIMUM TWO LAYER - STAGGER JOINTS)
EF	EXHAUST FANS, PLUMBING VENTS AND OTHER ROOF PENETRATIONS FOR MECHANICAL EQUIPMENT - (COORDINATE WITH HVAC DRAWINGS)
RD	ROOF DRAIN - (COORDINATE WITH MECHANICAL DRAWINGS)
ORD	SECONDARY ROOF DRAIN - (COORDINATE WITH MECHANICAL DRAWINGS)

#	BUILDING GENERAL NOTES
SYM	BASE MATERIAL
1	ALL EXISTING ROOFING IS TO REMAIN
2	REMOVE ALL WOOD TRIM AND REPLACE WITH COMPOSITE MATERIAL
3	NEW WINDOW LOUVER - W3
4	NEW COMPOSITE TRIM W/ SALVAGED GUTTERS AND DOWNSPOUTS REINSTALLED IN SAME LOCATIONS
5	NEW COMPOSITE SIDING
6	NEW WINDOW - W1
7	NEW WINDOW - W2
8	NEW WINDOW - W4

FOR REVIEW ONLY

COURTHOUSE EXTERIOR REPAIRS
TODD COUNTY
221 1ST AVE S, LONG PRAIRIE, MN 56347

PROPOSED ROOF PLAN

SHEET NO.
A3.10

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

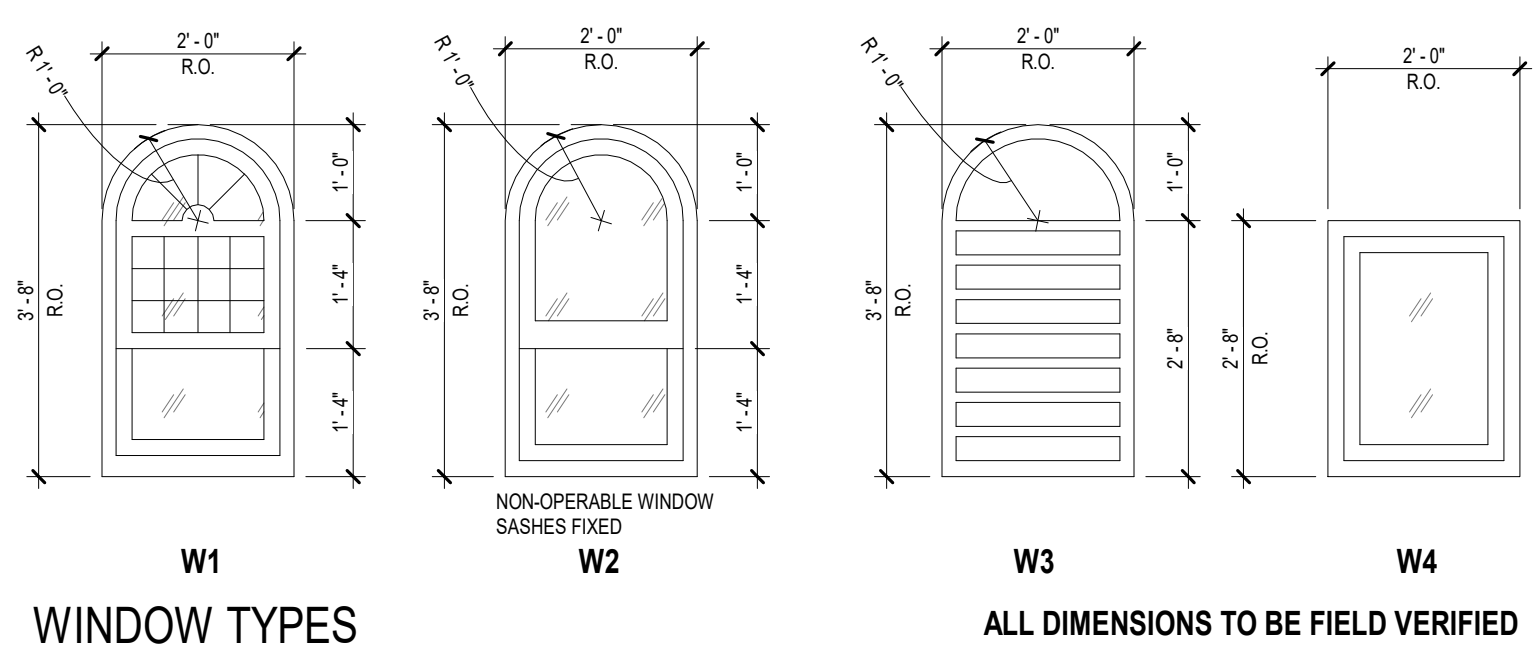
DATE	REV	REVISION DESCRIPTION	BY

DATE:	MARCH 2025
SCALE:	AS NOTED
DRAWN BY:	AAE / CJS
CHECKED BY:	N/A
JOB NUMBER:	2024-11922

MKE J. LANGRISH
03/04/2025
LIC# 45375

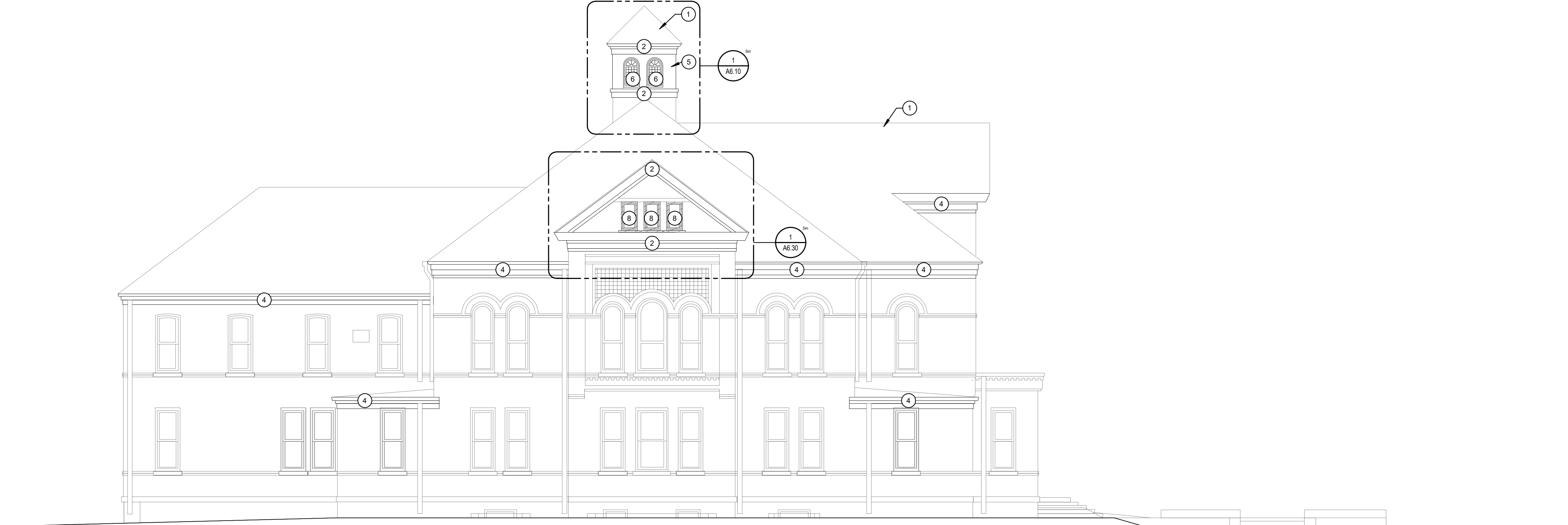


1 NORTH ELEVATION
1/8" = 1'-0"



#	BUILDING GENERAL NOTES
SYM	BASE MATERIAL
1	ALL EXISTING ROOFING IS TO REMAIN
2	REMOVE ALL WOOD TRIM AND REPLACE WITH COMPOSITE MATERIAL
3	NEW WINDOW LOUVER - W3
4	NEW COMPOSITE TRIM W/ SALVAGED GUTTERS AND DOWNSPOUTS REINSTALLED IN SAME LOCATIONS
5	NEW COMPOSITE SIDING
6	NEW WINDOW - W1
7	NEW WINDOW - W2
8	NEW WINDOW - W4

PHASING LEGEND	
	EXISTING
	DEMOLITION
	NEW CONSTRUCTION
	KEYED DEMOLITION NOTE
	KEYED NEW CONSTRUCTION NOTE



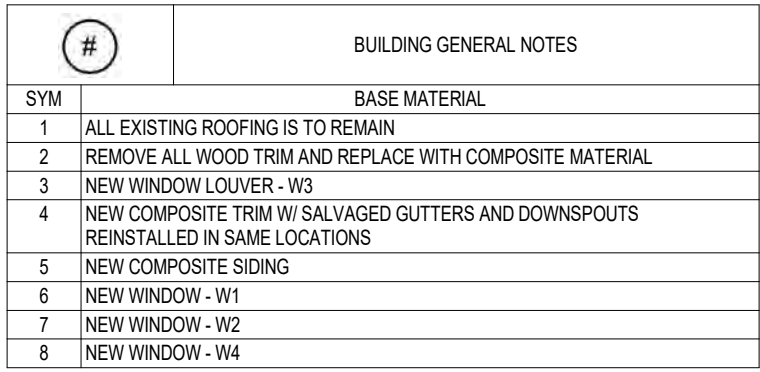
2 SOUTH ELEVATION
1/8" = 1'-0"

DATE	REV	DESCRIPTION

DATE:	MARCH 2025
SCALE:	AS NOTED
DRAWN BY:	AME / CJS
CHECKED BY:	N/A
JOB NUMBER:	2024-11922

COURTHOUSE EXTERIOR REPAIRS TODD COUNTY 221 1ST AVE S, LONG PRAIRIE, MN 55347
PROPOSED EXTERIOR ELEVATIONS

FOR REVIEW ONLY



PHASING LEGEND

	EXISTING
	DEMOLITION
	NEW CONSTRUCTION
	KEYED DEMOLITION NOTE
	KEYED NEW CONSTRUCTION NOTE

COURTHOUSE EXTERIOR REPAIRS
TODD COUNTY
221 1ST AVE S, LONG PRAIRIE, MN 56347

SHEET NO.
A4.20

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

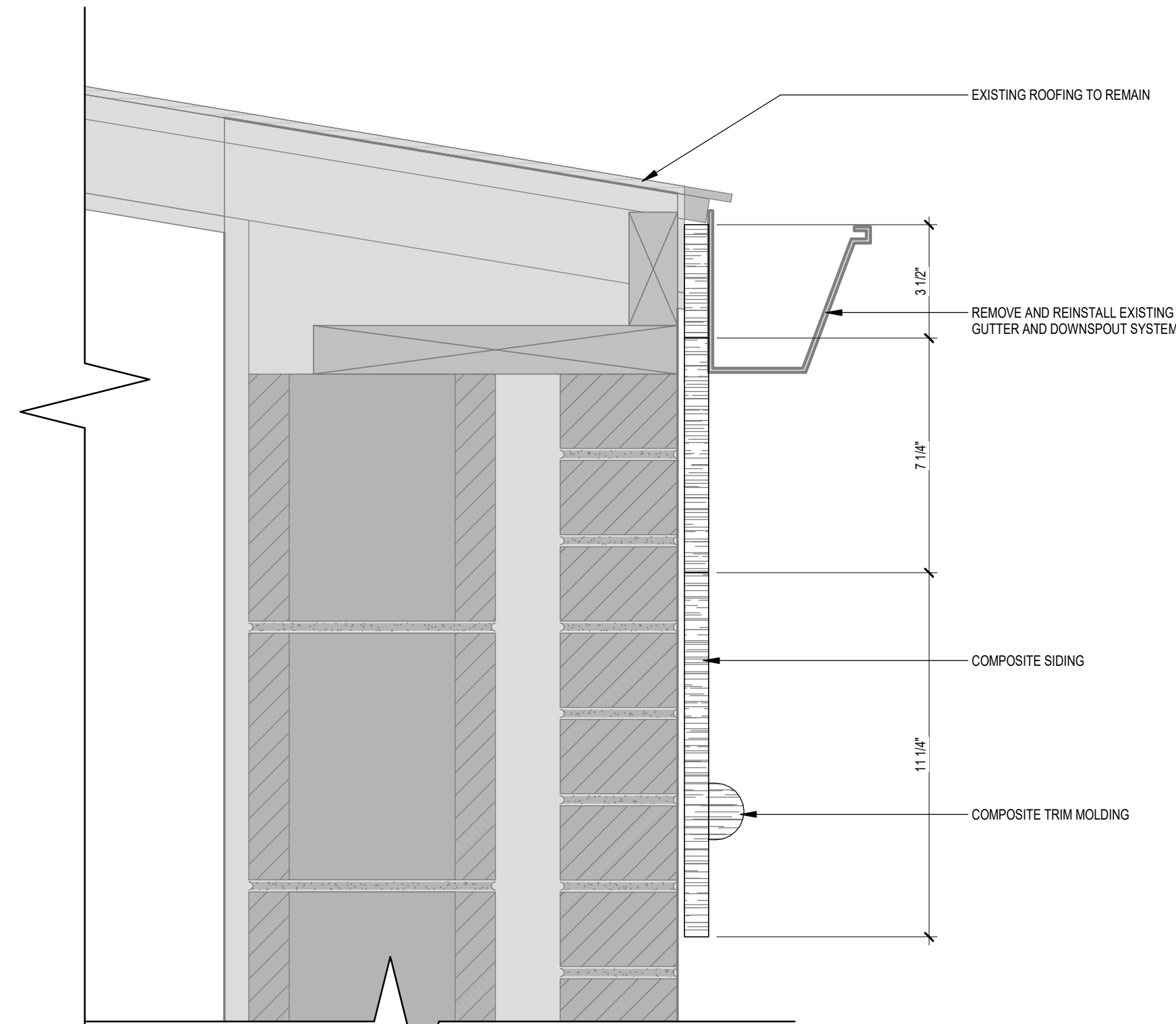
MIKE J. ANGLAND

03-04-2025

LC# 45375

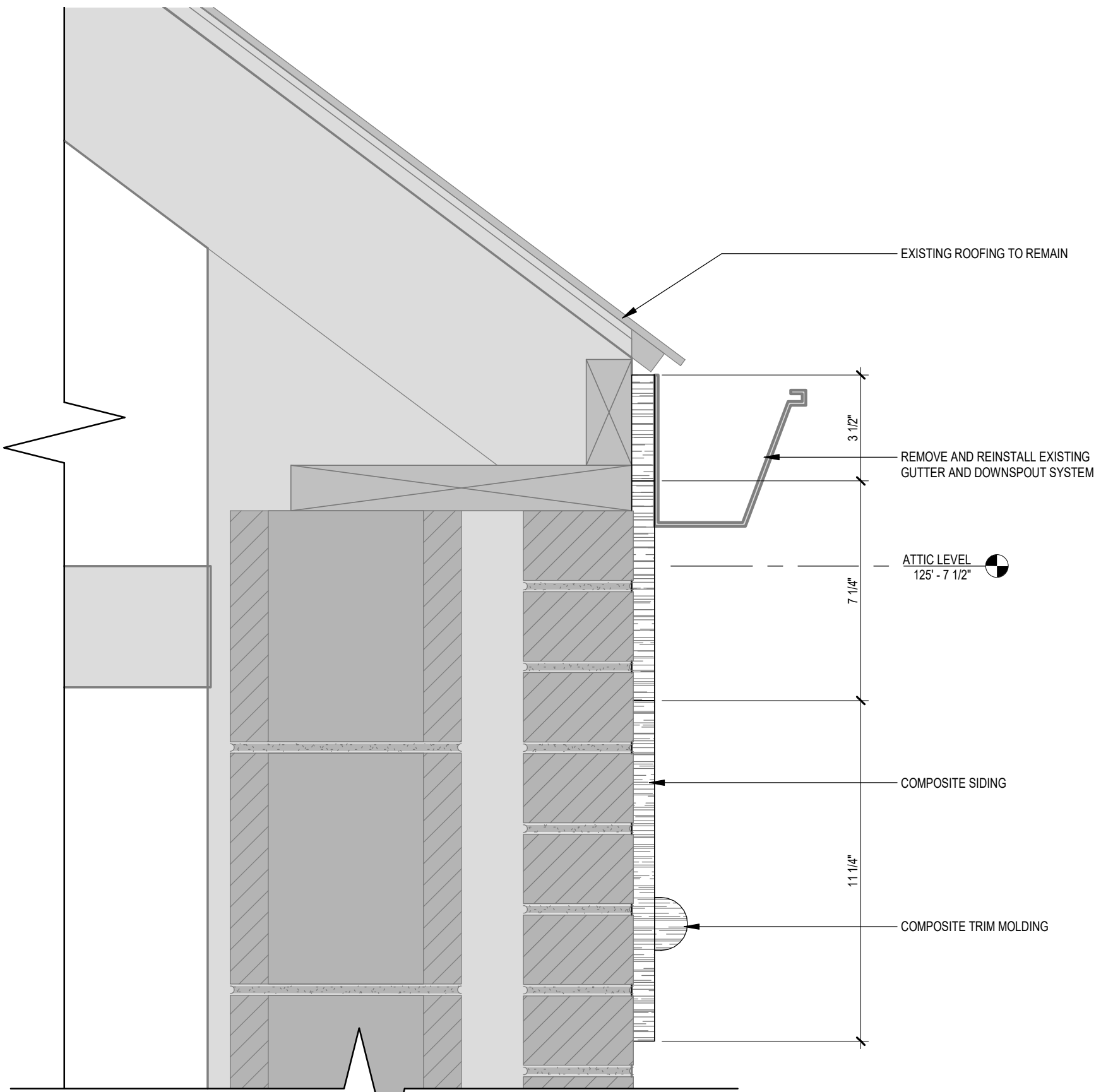
WIDSETH
ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS

<Copy and paste file path here> 3/4/2025 8:14:40 AM © 2022 WIDSETH SMITH NOLTING & ASSOCIATES, INC.



3 LOWER FRIEZE BOARD SECTION
3" = 1'-0"

NOTE: ALL DIMENSIONS SHALL BE FIELD VERIFIED.



4 UPPER FRIEZE BOARD SECTION+
3" = 1'-0"

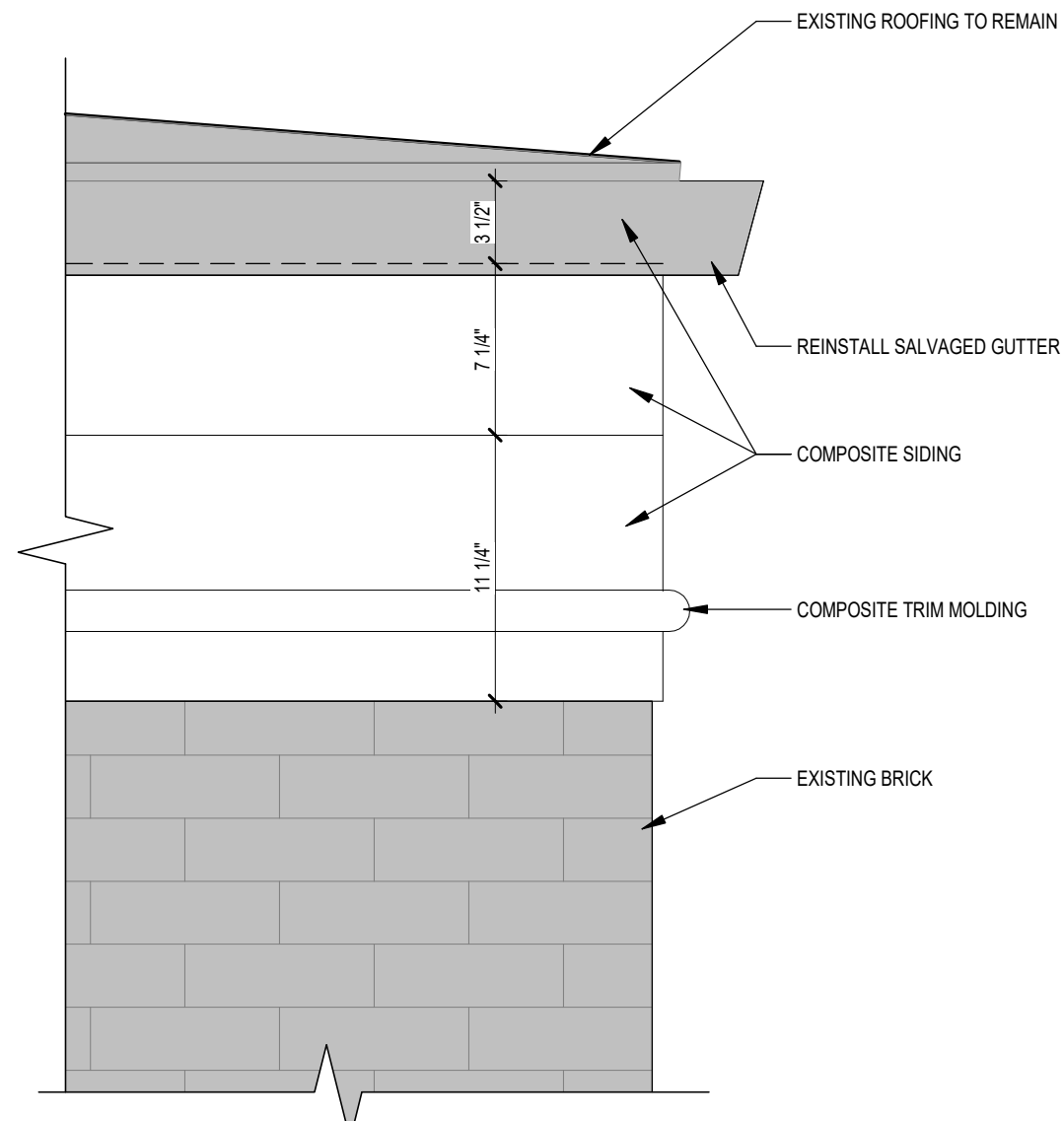
NOTE: ALL DIMENSIONS SHALL BE FIELD VERIFIED.



PHOTO - UPPER FRIEZE ROOF

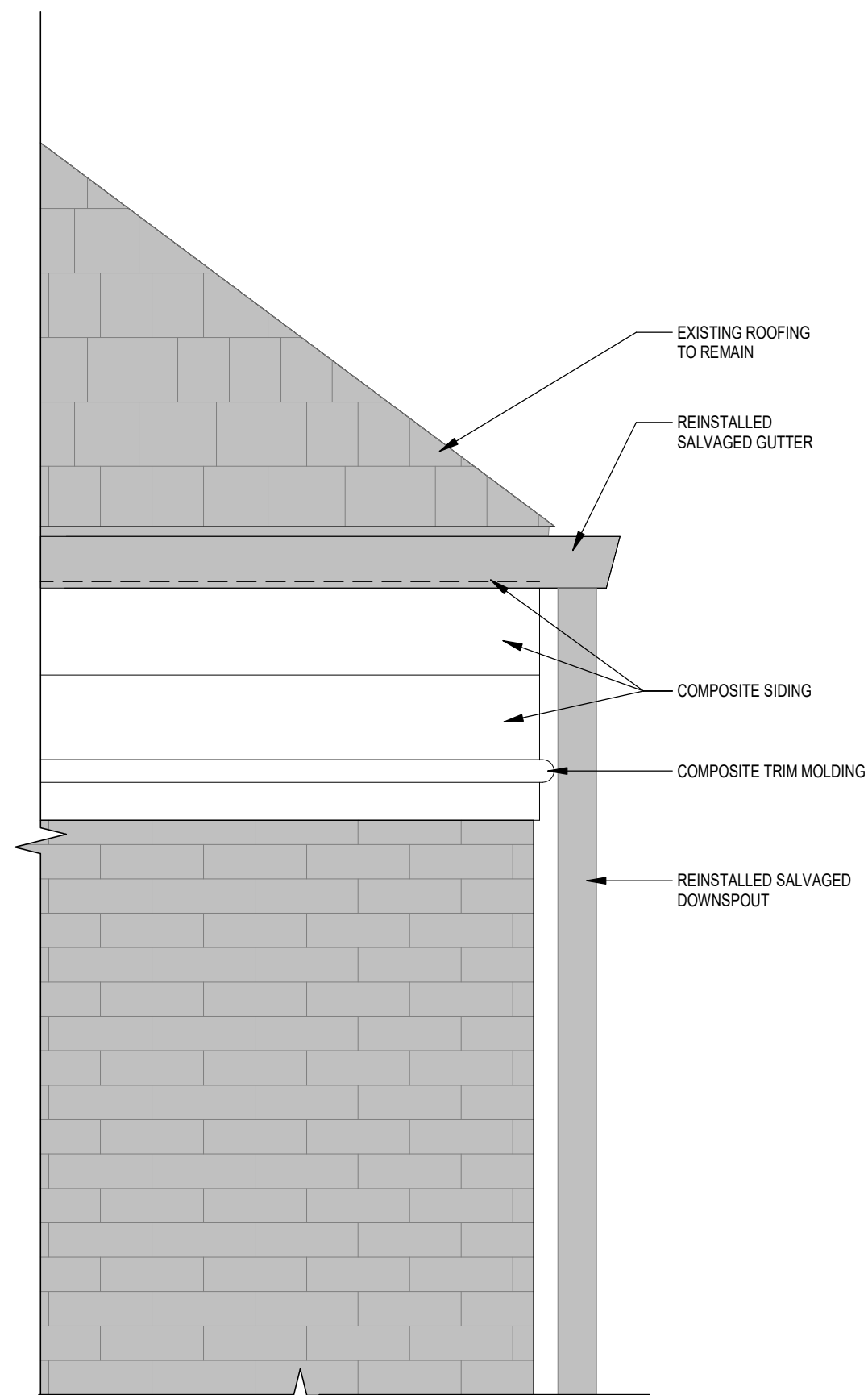


PHOTO - LOWER FRIEZE ROOF



2 LOWER FRIEZE BOARD ELEVATION
1 1/2" = 1'-0"

NOTE: ALL DIMENSIONS SHALL BE FIELD VERIFIED.



1 UPPER FRIEZE BOARD ELEVATION
1" = 1'-0"

NOTE: ALL DIMENSIONS SHALL BE FIELD VERIFIED.

FOR REVIEW ONLY

[illegible]

SCALE:	AS NOTED
DRAWN BY:	AME / CJS
CHECKED BY:	MJA
JOB NUMBER:	2024-11922

COURTHOUSE EXTERIOR REPAIRS
TODD COUNTY
221 1ST AVE S, LONG PRAIRIE, MN 56347
ENLARGED GABLE ELEVATION

SHEET NO.

6.30

FOR REVIEW ONLY